

GENERAL REQUIREMENTS

- 1.1 All work shall be performed in accordance with all applicable local, state, and national codes and ordinances and all authorities having jurisdiction.
- 1.2
- 1.3 The Builder shall verify all dimensions and conditions before proceeding with work and notify Architect at once of any discrepancies prior to commencing work.
- 1.4 Plumbing schematic drawing, HVAC drawing, sewer mains, electrical outlets, switches, light locations for routing all plumbing, mechanical and electrical work is to be coordinated between the trades affected by the work as part of their installation layout. No plumbing, mechanical or electrical information is to be scaled from the drawings.
- 1.5 On-site verification of all dimensions and conditions shall be the responsibility of each subcontractor.
- 1.6 All work shall conform to FHA - VA, requirements.
- 1.7 Extras shall be authorized in written change orders only.
- 1.8 All work shall be performed in a workmanlike manner.
- 1.9 Each subcontractor shall include labor, materials, tools, equipment, etc. for the complete construction of work indicated and specified by the drawings and specifications for the removal of debris.
- 1.10 Materials as specified on drawing shall be used.
- 1.11 Substitution of materials will not be allowed without the written consent of the Architect.
- 1.12 Each subcontractor shall amend and make good at his own cost, any defect or other faults in his work and/or material.
- 1.13 Each subcontractor is to clean up debris inside and outside the building site which has been caused by his work or be back charged at a rate of \$35.00 per hour.
- 1.14 The Architect shall not have control over or charge of and shall not be responsible for construction means, methods, technique, sequences or procedures, or for safety precautions and programs in connection with the Work, since these are solely the contractor's responsibility under the Contract for Construction.
- 1.15 All work and use of materials shall be in accordance with the applicable manufacturer's trade association and/or institute standards and specifications.
- 1.16 Builder will require the subcontractors to obtain and maintain Commercial General liability insurance with broad form Property Damage coverage and contractual liability endorsement insuring the indemnity required of the Builder. The indemnities Builder and architect will be named as additional insured endorsement included on the Subcontractor's Commercial General liability policy will provide the following:
 - a) that the coverage afforded the additional insured will be the primary insurance for the additional insured with respect to claims arising out of operations performed by or on behalf of the Builder.
 - b) that if the additional insured have other insurance which is applicable to the loss such other insurance will be on an excess or contingent basis.
 - c) that the amount of the company's liability under the insurance policy will not be reduced by the existence of such other insurance and (d) that additional insured will be given not less than 30 days prior written notice of any cancellation thereof will furnish to us certificates of insurance evidencing the foregoing.
 - d) subcontractor shall carry the following minimum insurance coverage:

Liability:	\$1,000,000.00
Bodily Injury:	\$1,000,000.00
Property Damage:	\$1,000,000.00
 - e) subcontractor shall show certificate of workers compensation insurance

STRUCTURAL STEEL

All structural steel shall conform to AISC specifications for A-36 steel and shall be shop coated with 0.003in. dry film thickness of modified alkyl Include flat plates for fillet beams, if called for on plans.

BUILDER MISC. NOTES:

Notify architect of any conditions which require deviation from these plans prior to commencement of such work.
All work and materials shall comply with these plans and specifications; all applicable codes, ordinances, and regulations; manufacturers' spec.'s and recommendations; engineering and construction practices.

All masonry shall be properly tooled and cleaned.

All masonry & mortar shall be as recommended for loading and exposure.

Interior partitions: 2x4 studs @ 16" o/c

Drywall shall be taped and sanded. (Green board at tubs and showers)

HVAC sizing and layouts shall be by mechanical contractor in accordance to the latest ASHRAE standards.

Provide smoke detectors per latest state and local code.

Provide electrical service and electrical panel capacity as necessary for loading.

Circuiting shall be by electrical contractor

Recessed lighting shall be "IC" type cans for insulated ceilings

Headers per architects notes + plans

Provide individual fixture stops

Provide air chambers per code

PROVIDE APPROVED PORTABLE TOILET FOR CONSTRUCTION WORKERS

PROVIDE DUMPSTERS. ALL DUMPSTERS, CONTAINERS, ETC. SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED.

CARPENTRY

Solid blocking under all partitions perpendicular to joists.

Provide 1"x3" cross bridging at 7' 0" o.c. minimum or approved metal bridging.

Provide double joists under water heater, washing machine, dryer and all stationary appliances, tubs and showers.

Provide double joists under all parallel partition walls. Openings in floor construction shall be framed with double header and trimmer joists.

Use only approved metal connectors and hangers for connecting joints to headers

All walls to have 2" solid wood fire stopping and all electrical and plumbing through floor are to have space sealed off with approved rock wool batt insulation and/or listed caulking materials. Fire stop all furring, partitions and stud walls at floors and ceiling of each floor level, and at juncture of wall and roof rafters. All interior soffits shall be fire stopped with 1/2" plywood or drywall to separate wall stud cavities from floor or ceiling joist cavities.

Wall sheathing shall be as designated on drawings under cedar siding and brick veneers. all cantilevers shall be wrapped with Tyvek

Header schedule for bearing walls unless otherwise noted on plans.

Spans less than 4'	2 - 2x6's
Spans 4 - 6'	2 - 2x8's
Spans 6 - 8'	2 - 2x10's
Spans 8 - 10'	2 - 2x12's

Exterior openings to have 2 - 2x12's header with 1/2" plywood plate unless otherwise noted. (Framed Walls)

Provide 1.5' of bearing at all joist ends or connect with approved joist hangers

MOISTURE CONTROL

All concealed flashing to be a minimum of 26 gauge sheet metal.

All exterior perimeter caulking shall be water and weather tight one part polyurethane.

All exterior walls to be insulated with kraft faced fiberglass insulation stapled to studs.

All roof and attic spaces shall be insulated with foil backed or kraft faced fiberglass insulation between ceiling joists and attached firmly with staples, or blown-in insulation, or a combination of both.

- A. Provide min. R-21 within the exterior wall cavities, with vapor barrier to warm side. Provide expanding foam "Polycol one" at perimeter of all exterior sills, openings and mechanical openings.
- B. Provide min. R-49 within both standard and vaulted ceiling spaces

All joints, seams, penetrations, openings between window, skylight and door assemblies and their respective jambs and framing, and other sources of air leakage (infiltration and exfiltration) through the building thermal envelope shall be caulked, gasketed, weather - stripped, wrapped, or otherwise sealed to limit uncontrolled air movement.

All hot and cold water piping installed in unheated spaces or exterior walls shall be tightly encased and sealed in insulating material of adequate thickness (1"-1.5", R-5 min) to prevent freezing.

All HVAC ductwork passing through unheated spaces will be insulated with min. R-5 value ductwork insulation

Provide aluminum drip caps over all new doors and window head including new garage and patio doors. Flashing per builder spec.'s

All ductwork joints shall be sealed with tape listed in accordance with UL 181 A or UL 181 B. The use of "Duct Tape" is prohibited.

DOORS AND WINDOWS

Doors and windows shall be installed in strict accordance to manufacturers installation specifications, instructions, and warranty conditions.

Provide tempered glass in all patio doors, entry sidelights, shower doors and enclosure, and where otherwise required by code.

Door and window infiltration shall be in accordance with Village Ordinance and with the 2003 IRC.

Windows as per plan.

All glazed doors and any glazed panel more than 18" in width, immediately adjacent to any door where the sill of the glazed panel is less than 24" above the floor, shall be glazed with safety glazing materials. Glazed door shall include among others, as follows: Sliding glass doors, shower doors & bath tub

Safety glazing shall be provided at tub locations where the glazing is less than 48" above the drain inlet.

FINISHES - by general contractor

Install U.S. Gypsum or approved equal S.W. system 5/8" wallboard on wall and 1/2" wallboard on ceilings with metal corner beads. Machine tape all joints. Wall board shall be attached according to manufacturers instructions, patch all nail heads and leave wall surface free from waxes, pits and buckles. Provide 5/8" water resistant wallboard at all bathtub and shower recessed areas including walls and ceiling.

Enclosed accessible space under stairs shall have walls and soffits protected on the enclosed side with 5/8" gypsum board

MECHANICAL

HEATING AND VENTILATING - by general contractor

Bathroom exhausts shall vent directly to the exterior

PLUMBING - by general contractor

ELECTRICAL - by general contractor

APPLIANCES - to be provided by owner

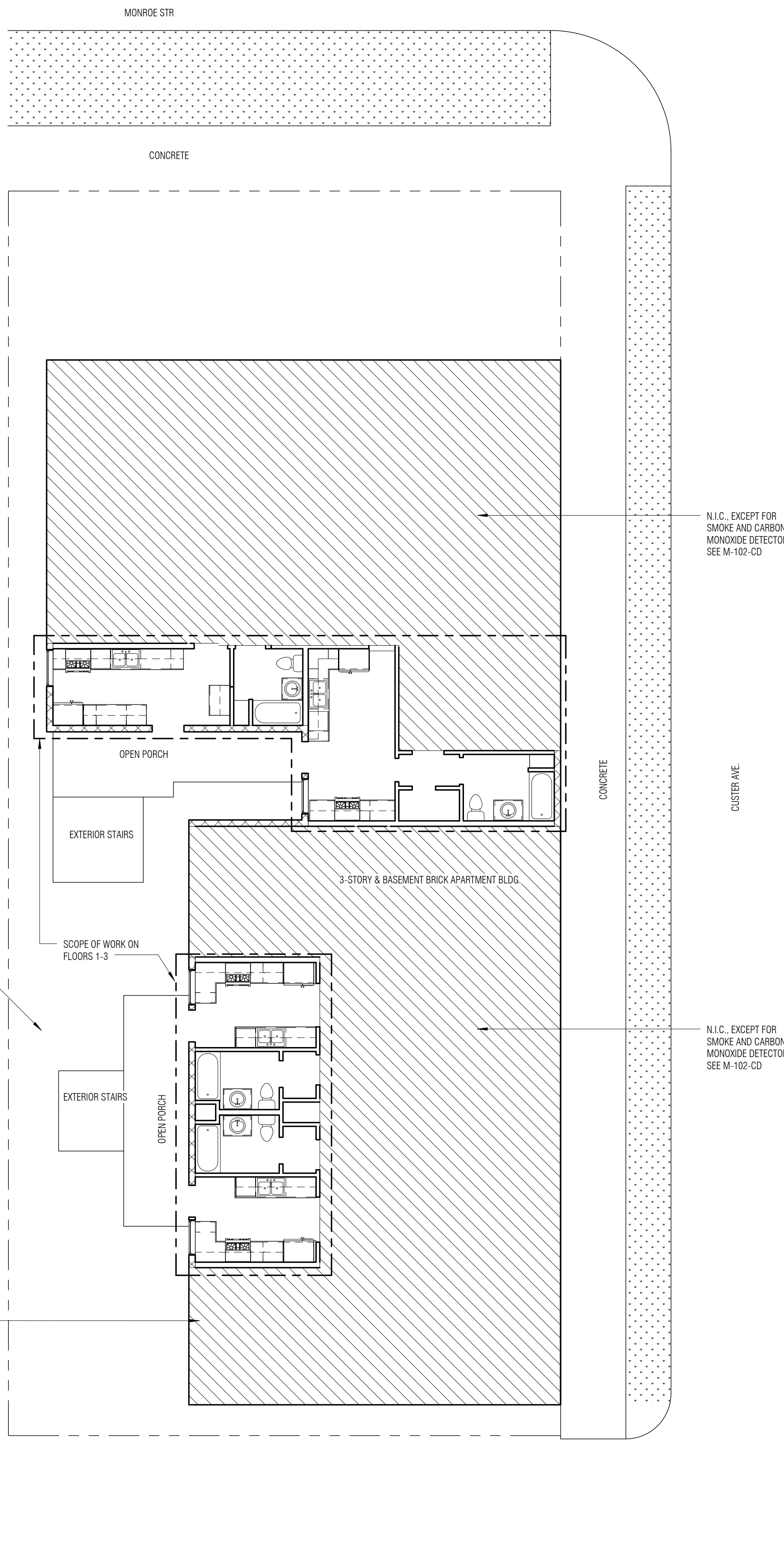
MIN. DESIGN LOADS:	
DWELLINGS -	40 PSF LIVE LOAD, 10 PSF DEAD LOAD
ATTICS -	20 PSF LIVE, 10 PSF DEAD
ROOF -	30 PSF LIVE, 10 PSF DEAD
STAIRS AND LANDINGS -	100 PSF LIVE
GUARDRAILS AND HANDRAILS -	200 PSF LIVE
GROUND SNOW LOAD -	30 PSF FLAT ROOF SNOW LOAD - 25 PSF
BASIC WIND SPEED -	90 MPH

REFERENCE CODES AS ADOPTED BY THE CITY OF EVANSTON, ILLINOIS:
 2012 International Building Code (IBC)
 2012 International Residential Code for One and Two Family Dwellings (IRC)
 2012 International Plumbing Code
 2012 International Mechanical Code
 2012 International Fuel Gas Code
 2011 National Electric Code (NFPA 70)
 2012 NFPA Life Safety Code 101
 2012 International Fire Code
 2012 International Energy Conservation Code

ADDITIONAL STATE OF ILLINOIS CODES, ENFORCED BY THE CITY OF EVANSTON ARE:
 State of Illinois Plumbing Code (most recent edition)
 Illinois Accessibility Code (most recent edition)
 2001 International Energy Conservation Code

SEE L-101-CD FOR REAR YARD IMPROVEMENTS

SEE M-102-CD FOR FIRE PROTECTION DRAWINGS, INCL. BASEMENT



N.I.C., EXCEPT FOR SMOKE AND CARBON MONOXIDE DETECTORS. SEE M-102-CD

N.I.C., EXCEPT FOR SMOKE AND CARBON MONOXIDE DETECTORS. SEE M-102-CD

ARCHITECT OF RECORD:

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**HOUSE OF PEACE COOP
KITCHENS AND BATHROOMS
RENOVATION**

700-702 MONROE AND 700-702 CUSTER,
EVANSTON, IL 60202

No.	Description	Date
1	ISSUED FOR PERMIT	08/20/14

Drawn By: KM
 Checked By: VM
 Scale: As indicated
 Project No.: 11-107

**SITE PLAN, GENERAL
NOTES**

Sheet No. **A-001-CD**

1 SP-01 - CD
1/8" = 1'-0"

SHEET INDEX	
SHEET NUMBER	SHEET NAME
A-001-CD	SITE PLAN, GENERAL NOTES
A-101-CD	FLOOR PLANS
A-201-CD	INTERIOR ELEVATIONS
L-101-CD	REAR YARD AND ROOF
M-101-CD	MEP PLANS
M-102-CD	FIRE PROTECTION, PLUMBING

ARCHITECTS CERTIFICATION AND SEAL:
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY PERSONAL SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO ALL LAWS AND ORDINANCES OF THE CITY OF EVANSTON, ILLINOIS

SIGNED BY: _____ DATE: _____

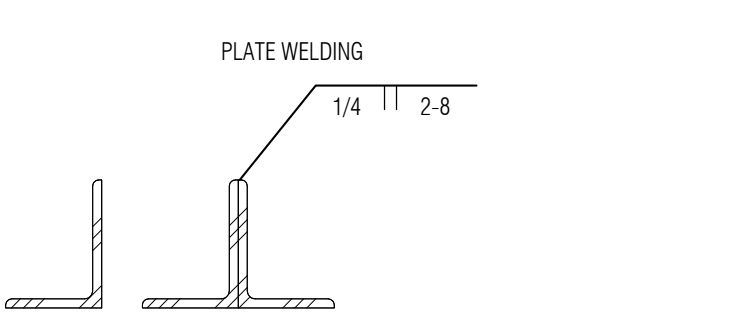
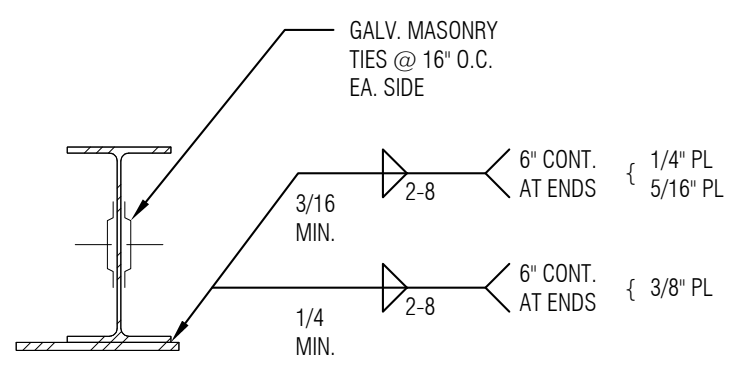
- HEADERS**
- FOR ALL INTERIOR BEARING WALLS AND ALL EXTERIOR WALL OPENINGS THE HEADER SCHEDULE IS AS FOLLOWS UNLESS NOTED OTHERWISE:
 - * SPANS LESS THAN 4'-0": (2)2x6S
 - * SPANS 4'-0" TO 6'-0": (2)2x8S
 - * SPANS 6'-0" TO 8'-0": (2)2x10S
 - * SPANS 8'-0" TO 10'-0": (2)2x12S

- WOOD POSTS, THE FULL WIDTH OF THE BEAM, SHALL BE PROVIDED UNDER EACH END OF BEAM BEING SUPPORTED, AND AS SHOWN ON PLAN, MINIMUM 3/4" BEARING AT EACH END OF BEAM, LENGTHWISE
- POSTS ARE TO EXTEND DOWN TO SOLID BEARING ON FOUNDATION WALL, STEEL BEAM, OR MINIMUM OF (3) FLOOR FRAMING MEMBERS, OR AS NOTED ON PLAN.
- (3)2x4S AND (3)2x6S ARE SUFFICIENT REPLACEMENTS FOR 4x4 AND 4x6 POSTS AS LONG AS THEY ARE GLEUED AND NAILLED TOGETHER AND SPLICE JOINTS ARE STAGGERED ALONG LENGTH OF POST.

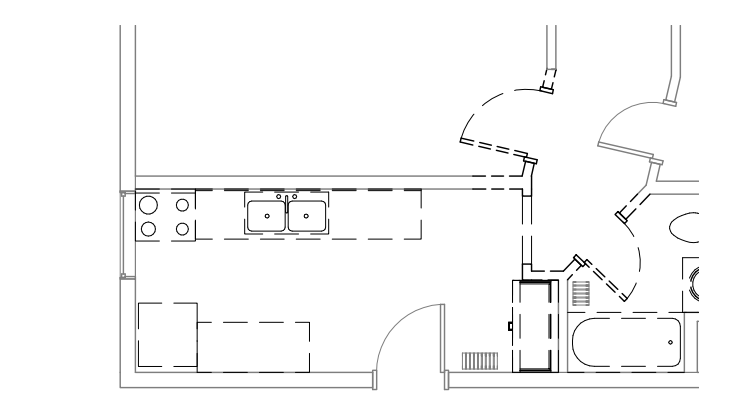
- LINTELS**
- FOR ALL EXTERIOR OPENINGS THE FOLLOWING LINTEL SIZES SHALL BE USED UNLESS NOTED OTHERWISE:

SIZE OF STEEL ANGLE* (inches)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF 1/4" OR EQUIVALENT REINFORCING BARS†
3 x 3 1/2	1/4"	1/4"	1/4"	1
4 x 3 1/2	1/4"	1/4"	1/4"	1
4 x 3 1/2 x 1/4	1/4"	1/4"	1/4"	2
4 x 3 1/2 x 1/4	1/4"	1/4"	1/4"	2
4 x 3 1/2 x 1/4	1/4"	1/4"	1/4"	4

- PROVIDE LINTELS FOR EACH WYTHE OF MASONRY U.N.O.
- 1. ALL LINTELS TO HAVE MIN. 4" BEARINGS BOTH SIDES U.N.O.
- 2. ALL LINTELS IN EXTERIOR CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED.
- 3. ALL PLATES ARE 1" LESS THAN WALL WIDTH AND SHALL EXTEND TO FULL LENGTH OF OPENING ONLY.
- 4. PROVIDE GALVANIZED MASONRY TIES @16" EACH SIDE OF WIDE FLANGED STEEL LINTELS.
- 5. SEE ARCHITECTURAL DRAWINGS FOR B/LINTEL BEARING ELEVATIONS.



ANGLE LINTELS



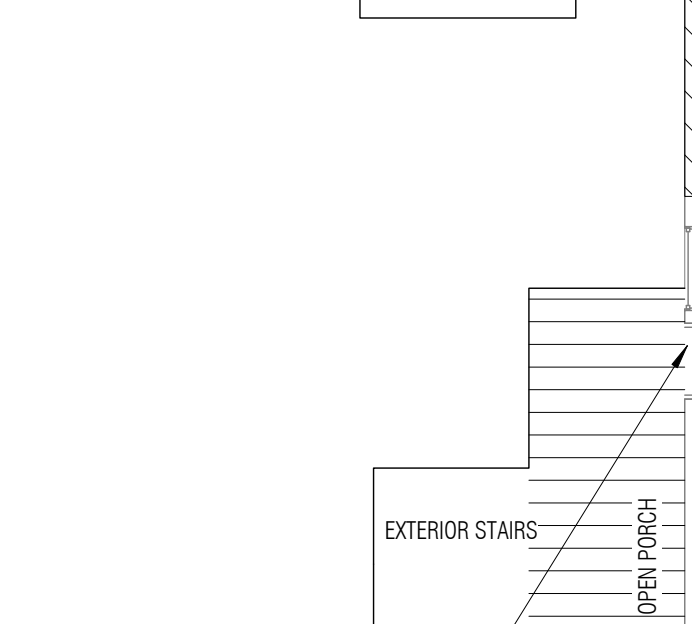
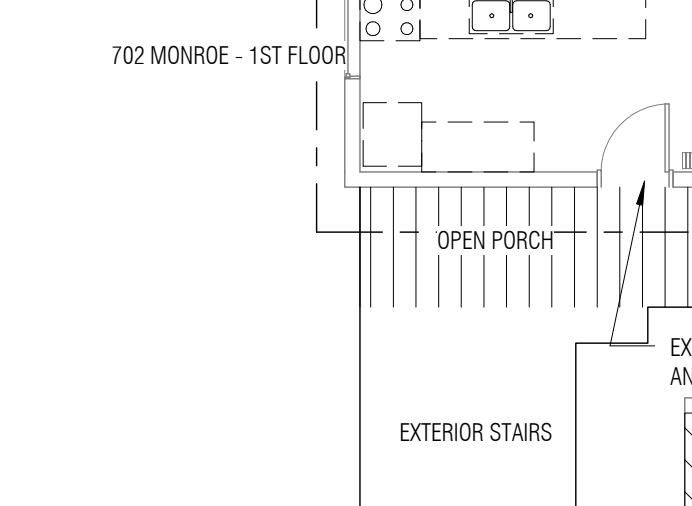
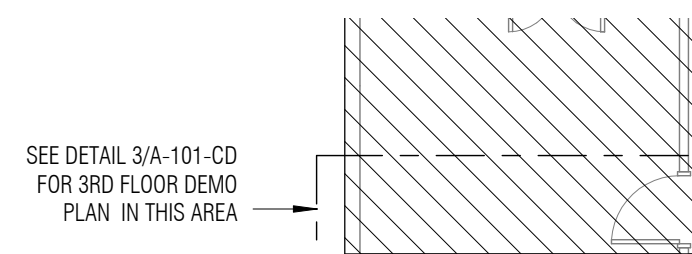
3 702 MONROE - 3RD FLOOR DEMO PLAN DETAIL
1/8" = 1'-0"

- LUMBER**
- STRESS GRADE LUMBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS (LATEST EDITION) WITH A FIBER STRESS IN BENDING (Fb) OF 875 PSI REPEITIVE, WITH E = 1,400,000 SPRUCE-PINE-FIR #1
 - PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, APPLIANCES AND TUBS, AND SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS

- BATH VENTILATION**
- PROVIDE MIN. 50 CFM MECHANICAL VENTILATION FOR BATHROOM AREAS. PVC PIPING, MECHANICALLY ANCHORED AND TAPPED, VENT DIRECTLY TO THE OUTSIDE BY AN APPROVED METHOD

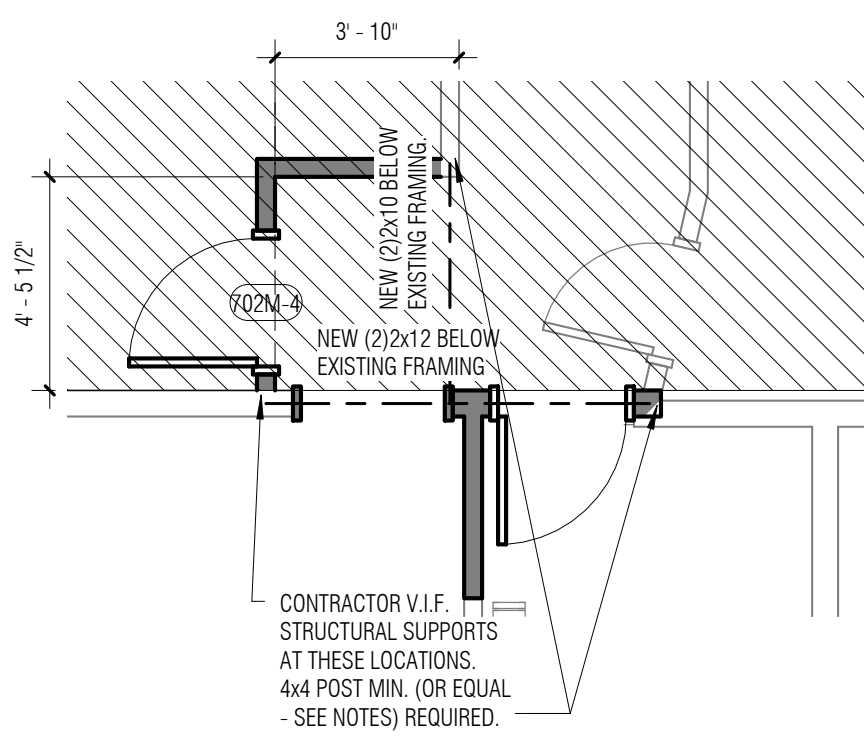


4 702 MONROE - 3RD FLOOR PLAN DETAIL
1/4" = 1'-0"

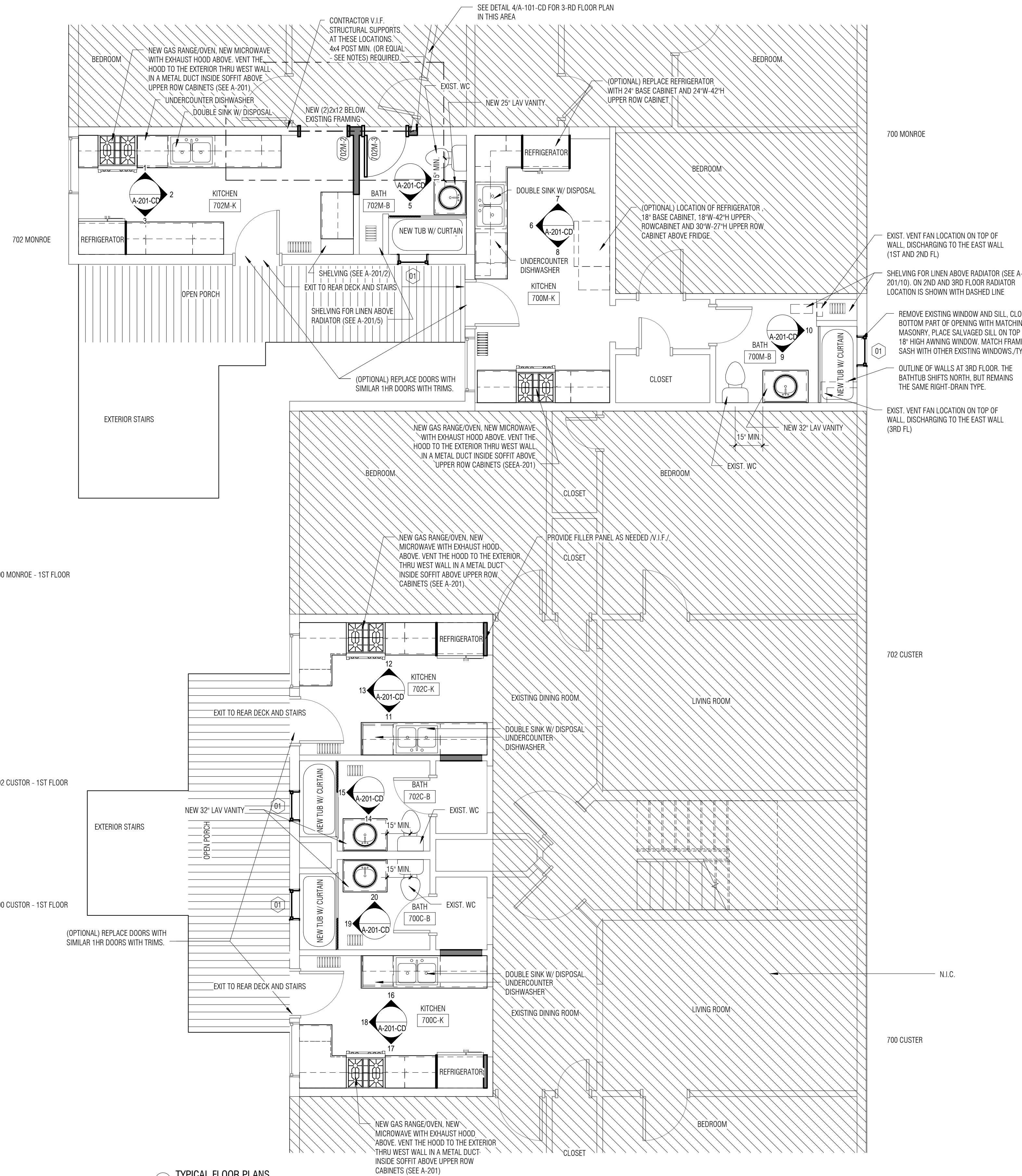


- GENERAL DEMOLITION NOTES (TYP. ALL FLOORS IN SCOPE OF WORK AREAS ONLY):**
1. STRIP OFF ALL INTERIOR WALLS FINISHES ON THE INNER SIDE OF SPACES. V.I.F. REMOVAL OF WALL SHEATHING.
 2. REMOVE CEILING GB
 3. REMOVE ALL EXISTING KITCHEN CABINETS, COUNTERTOPS AND APPLIANCES
 4. REMOVE EXISTING VANITIES AND BATHTUBS. DO NOT REMOVE TOILETS.
 5. REMOVE OLD PAINT FROM ALL DOORS AND WINDOWS TO REMAIN
 6. SALVAGE EXISTING TRIMS, BASE BOARDS AND OTHER SPECIFIC FOR THE INTERIOR ELEMENTS FOR FUTURE USE (WHERE POSSIBLE)

2 TYPICAL DEMOLITION PLANS
1/8" = 1'-0"



4 702 MONROE - 3RD FLOOR PLAN DETAIL
1/4" = 1'-0"



1 TYPICAL FLOOR PLANS
1/4" = 1'-0"

ROOM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING		CASEWORK		NOTES
				N	E	S	W	MATL	HEIGHT	CABINETS	COUNTERTOPS	
700C-B	BATH	CER.T.	CER.T.	PAINT/CER.T ABOVE TUB	PAINT	PAINT/CER.T ABOVE TUB	PAINT/CER.T ABOVE TUB	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	
700C-K	KITCHEN	CER.T.	CER.T.	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	
700M-B	BATH	CER.T.	CER.T.	PAINT	PAINT/CER.T ABOVE TUB	PAINT	PAINT	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	
700M-K	KITCHEN	CER.T.	CER.T.	PAINT/CER.T ABOVE COUNTERTOP	PAINT	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	
702C-B	BATH	CER.T.	CER.T.	PAINT/CER.T ABOVE TUB	PAINT	PAINT/CER.T ABOVE TUB	PAINT/CER.T ABOVE TUB	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	
702C-K	KITCHEN	CER.T.	CER.T.	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	
702M-B	BATH	CER.T.	CER.T.	PAINT	PAINT/CER.T ABOVE TUB	PAINT	PAINT	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	
702M-K	KITCHEN	CER.T.	CER.T.	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT/CER.T ABOVE COUNTERTOP	PAINT	PAINT	8' - 10 1/2"	WOOD/PLYWOOD	CORIAN	

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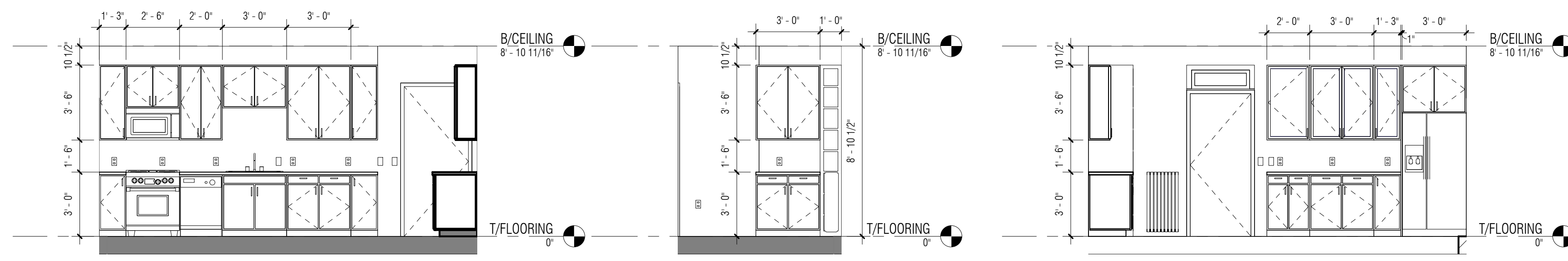
HOUSE OF PEACE COOP
KITCHENS AND BATHROOMS
RENOVATION

700-702 MONROE AND 700-702 CUSTER,
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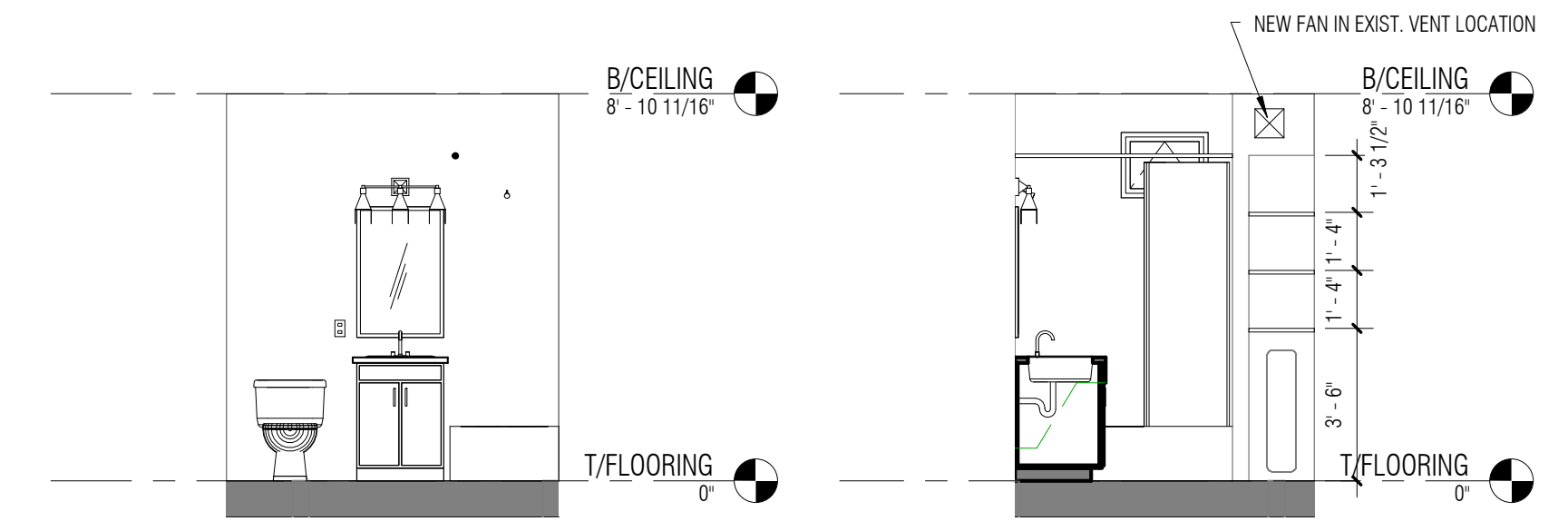
FLOOR PLANS
Sheet No. **A-101-CD**



1 702 M - KITCHEN - NORTH WALL
1/4" = 1'-0"

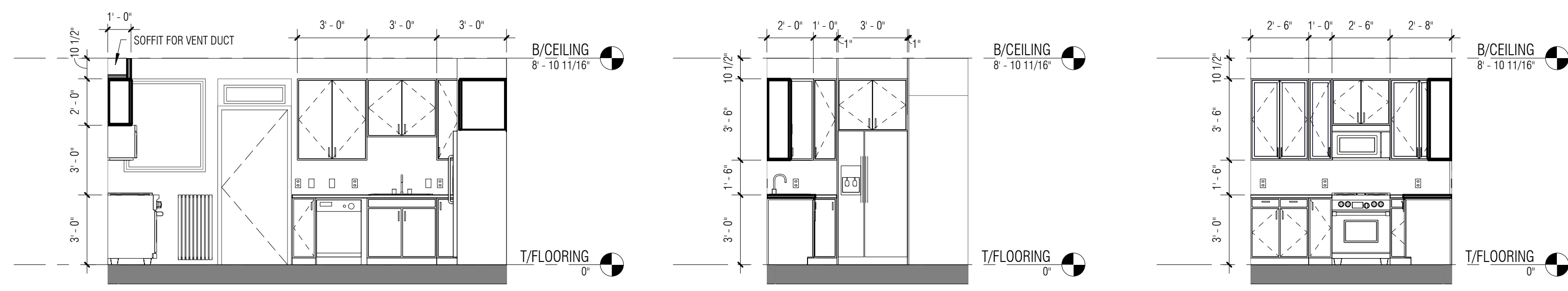
2 702 M - KITCHEN - EAST WALL
1/4" = 1'-0"

3 702 M - KITCHEN - SOUTH WALL
1/4" = 1'-0"



4 702 M - BATH - EAST WALL
1/4" = 1'-0"

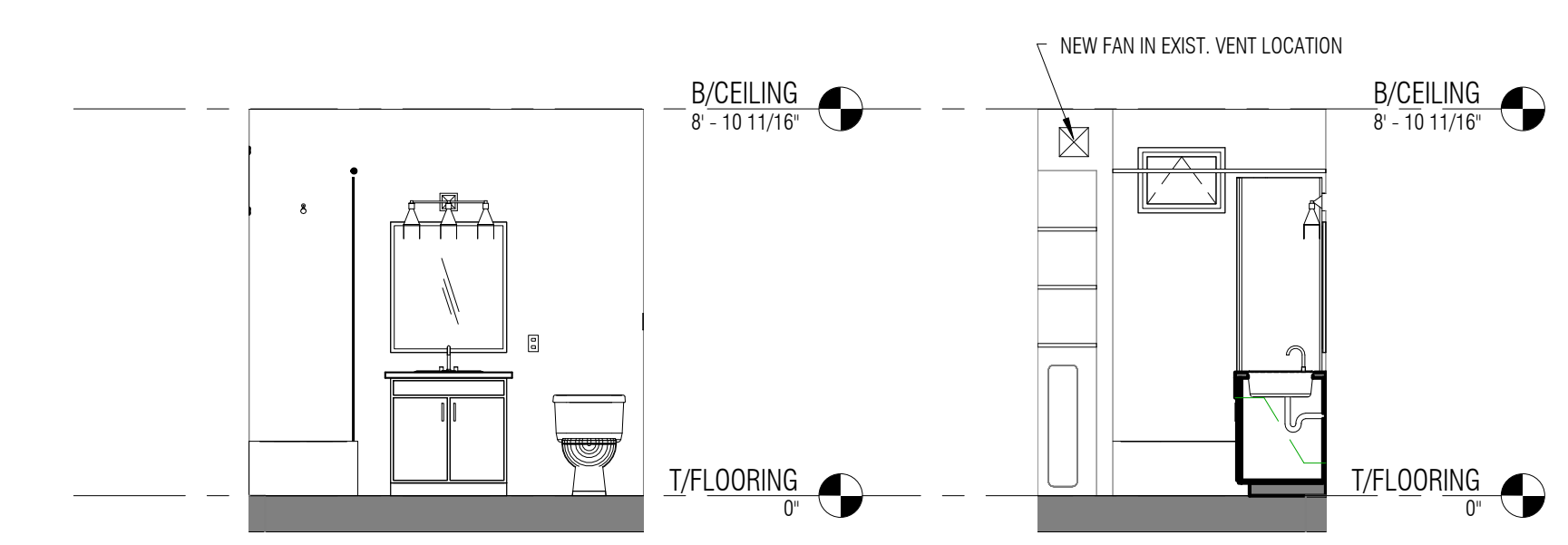
5 702 M - BATH - SOUTH WALL
1/4" = 1'-0"



6 700 M - KITCHEN - WEST WALL
1/4" = 1'-0"

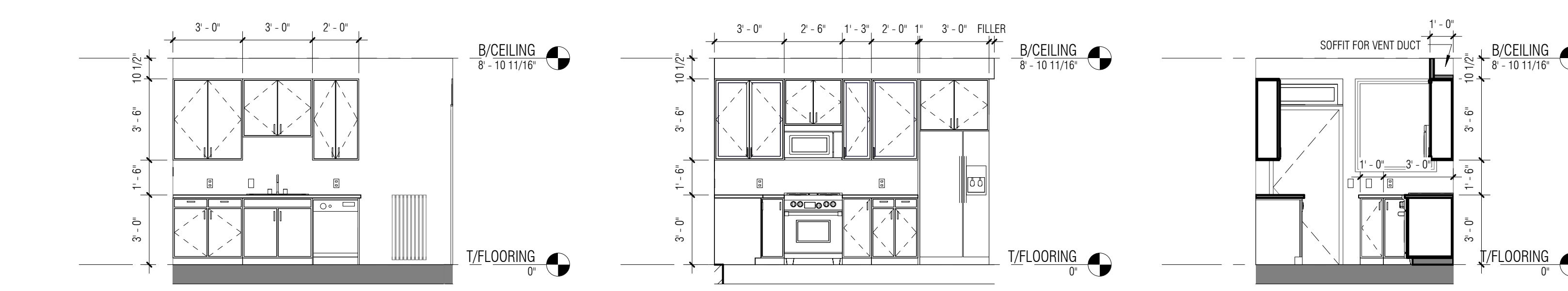
7 700 M - KITCHEN - NORTH WALL
1/4" = 1'-0"

8 700 M - KITCHEN - SOUTH WALL
1/4" = 1'-0"



9 700 M - BATH - SOUTH WALL
1/4" = 1'-0"

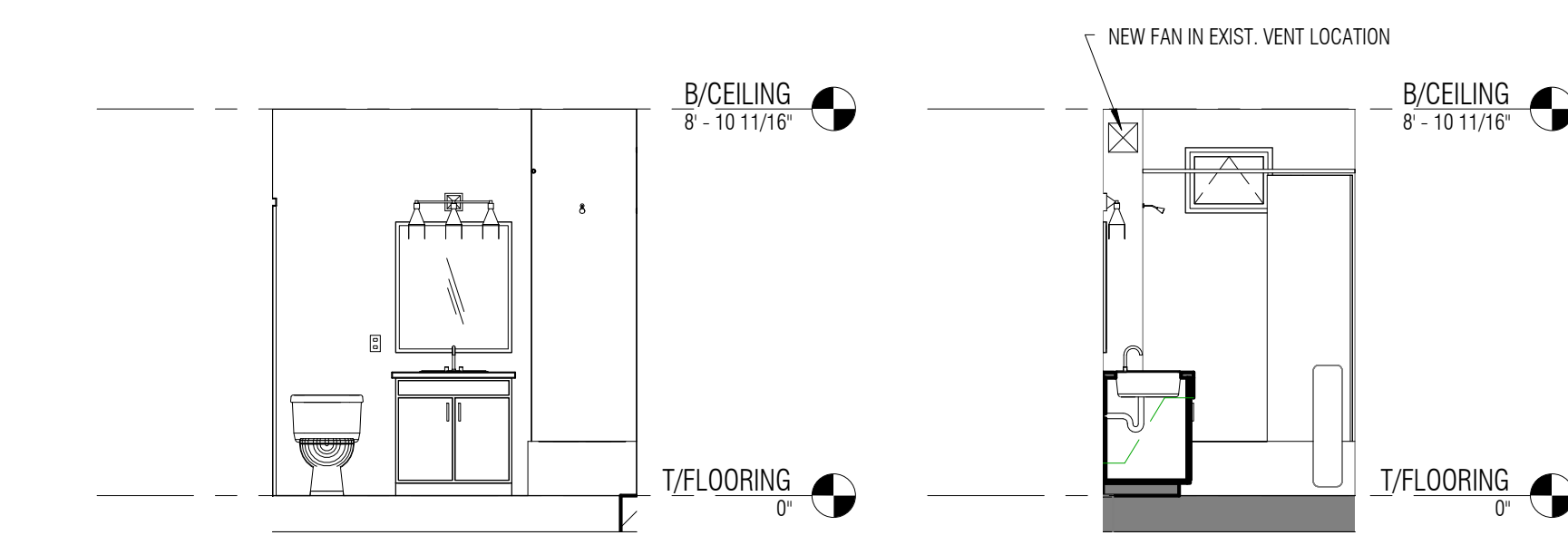
10 700 M - BATH - EAST WALL
1/4" = 1'-0"



11 702 C - KITCHEN - SOUTH WALL
1/4" = 1'-0"

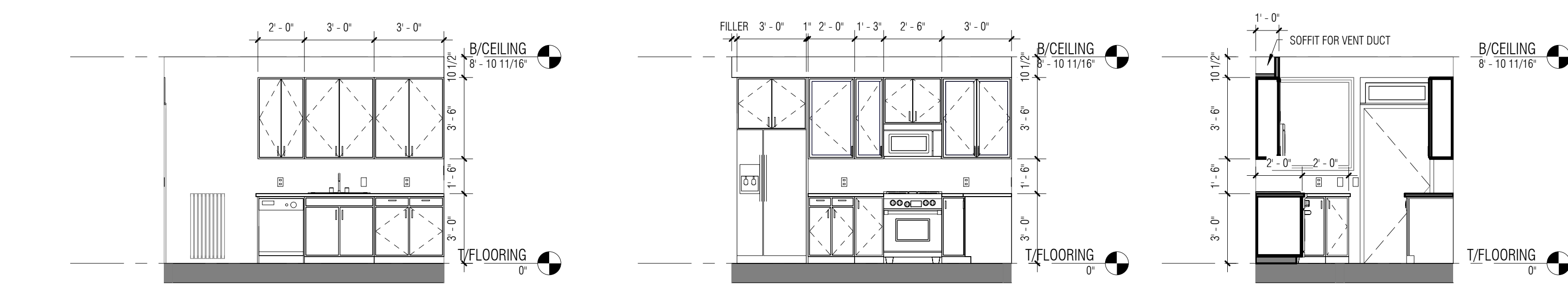
12 702 C - KITCHEN - NORTH WALL
1/4" = 1'-0"

13 702 C - KITCHEN - WEST WALL
1/4" = 1'-0"



14 702 C - BATH - SOUTH WALL
1/4" = 1'-0"

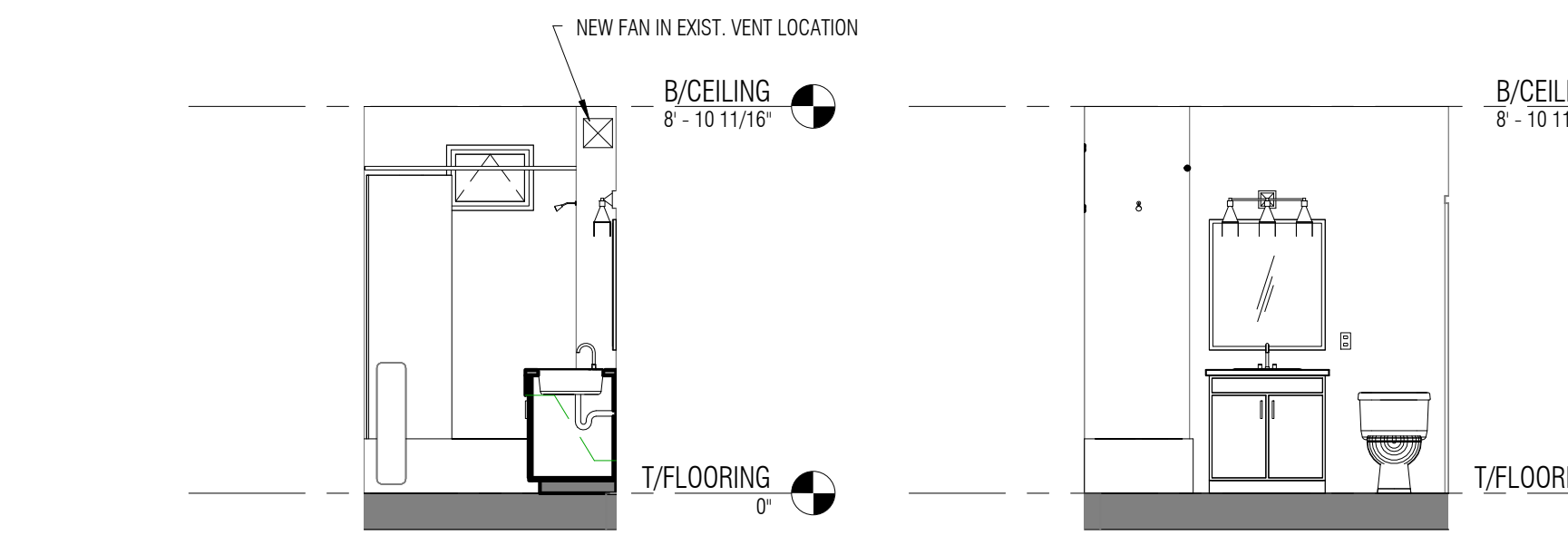
15 702 C - BATH - WEST WALL
1/4" = 1'-0"



16 700 C - KITCHEN - NORTH WALL
1/4" = 1'-0"

17 700 C - KITCHEN - SOUTH WALL
1/4" = 1'-0"

18 700 C - WEST WALL
1/4" = 1'-0"



19 700 C - BATH - WEST WALL
1/4" = 1'-0"

20 700 C - BATH - NORTH WALL
1/4" = 1'-0"

INTERIOR ELEVATIONS NOTES:
 1. UPPER ROW CABINETS TO BE ALIGNED BY THE TOP LINE OF THE CABINET ABOVE REFRIGERATOR AFTER IT IS PLACED AND LEVELED AND ALL CLEARANCES ARE PROVIDED ACCORDING TO MFR SPECS.
 2. TILING BETWEEN COUNTERTOPS AND UPPER ROW CABINETS SHALL BE PLACED AFTER THEY ARE ALL LEVELED AND FIXED IN PLACE. CAULK WITH FLEXIBLE WATERPROOF CAULK WITH MATCHING COLOR.
 3. CASEWORK PANELS AND FILLERS ON ANY SIDE TO BE PLACED AFTER ALL CABINETRY AND APPLIANCES ARE LEVELED AND FIXED IN PLACE.

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HOUSE OF PEACE COOP
 KITCHENS AND BATHROOMS
 RENOVATION
 700-702 MONROE AND 700-702 CUSTER,
 EVANSTON, IL 60202

No.	Description	Date
1	ISSUED FOR PERMIT	08/20/14

Drawn By: Author
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 Scale: 1/4" = 1'-0"
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INTERIOR ELEVATIONS
 Sheet No. A-201-CD

DOOR AND FRAME SCHEDULE										
No	DOOR SIZE			MATERIAL	FIN	GLAZING	FRAME		RATING	NOTES
	WD	HGT	THK				MATERIAL	FIN		
702M-2	3'-0"	7'-0"	2"	N/A	PAINT		WOOD	PAINT		CASED OPENING. ALL FLOORS - TOTAL 3
702M-3	2'-8"	7'-0"	2"	HCW	PAINT		WOOD	PAINT		ALL FLOORS - TOTAL 3 DOORS
702M-4	2'-8"	7'-0"	2"	HCW	PAINT		WOOD	PAINT		THIRD FLOOR ONLY - TOTAL 1 DOOR

WINDOWS SCHEDULE (PER FLOOR)				
NO	WIDTH	HEIGHT	TYPE	NOTES
01	2'-0"	1'-6"	AWNING	MATCH EXISTING FRAMES; (4) TOTAL PER FLOOR

Grand total: 4

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HOUSE OF PEACE COOP
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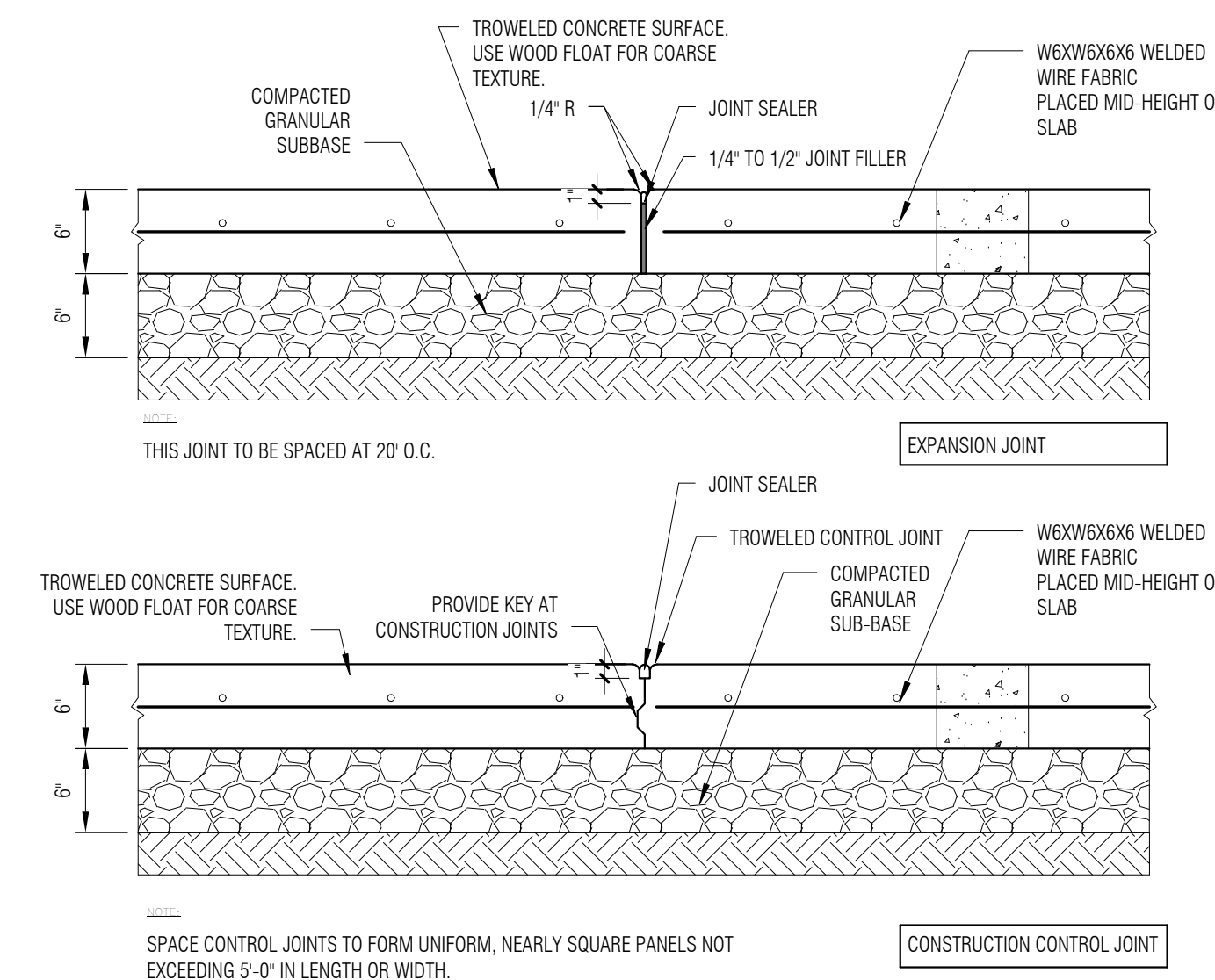
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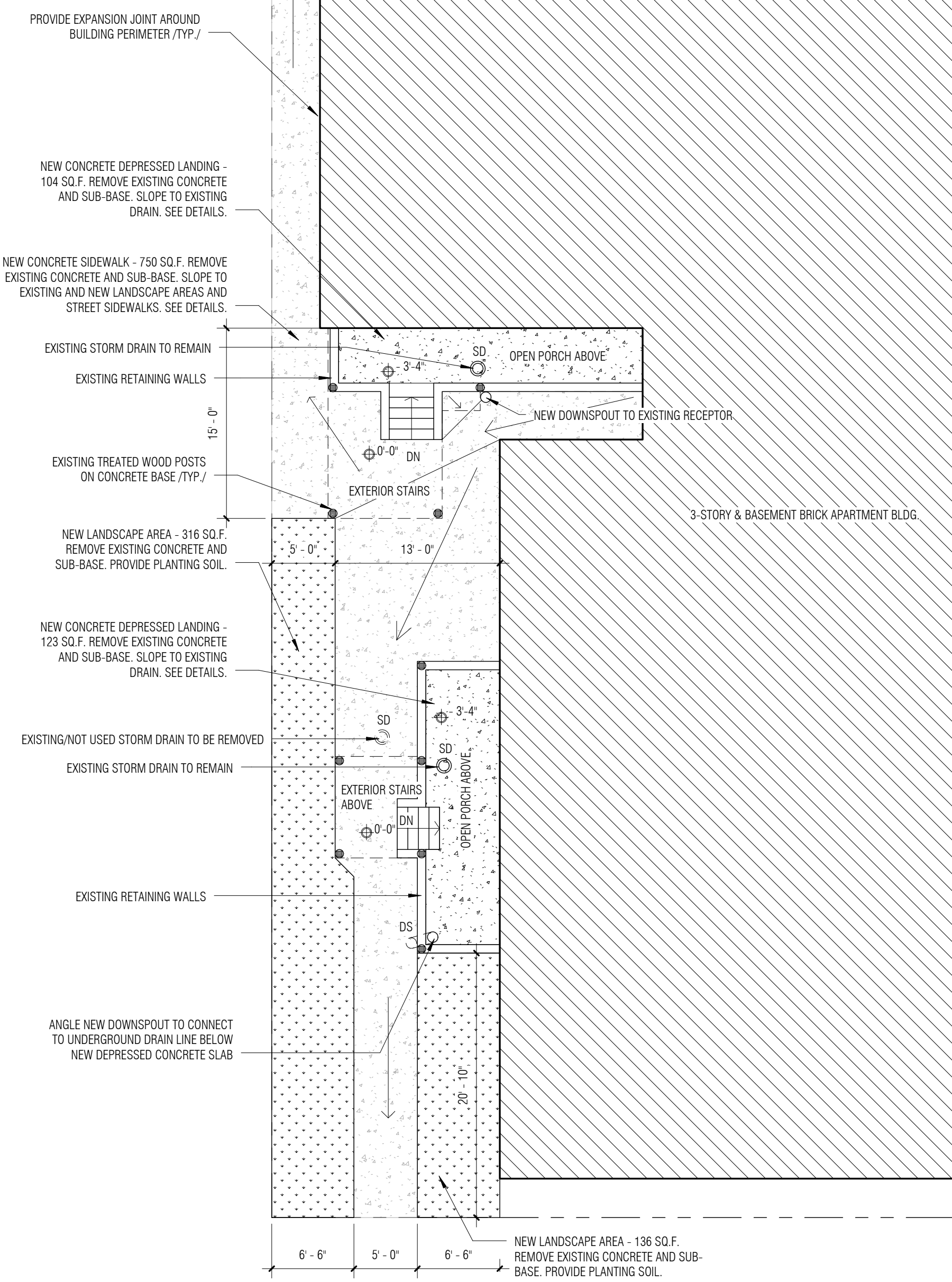
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REAR YARD AND ROOF

Sheet No. L-101-CD

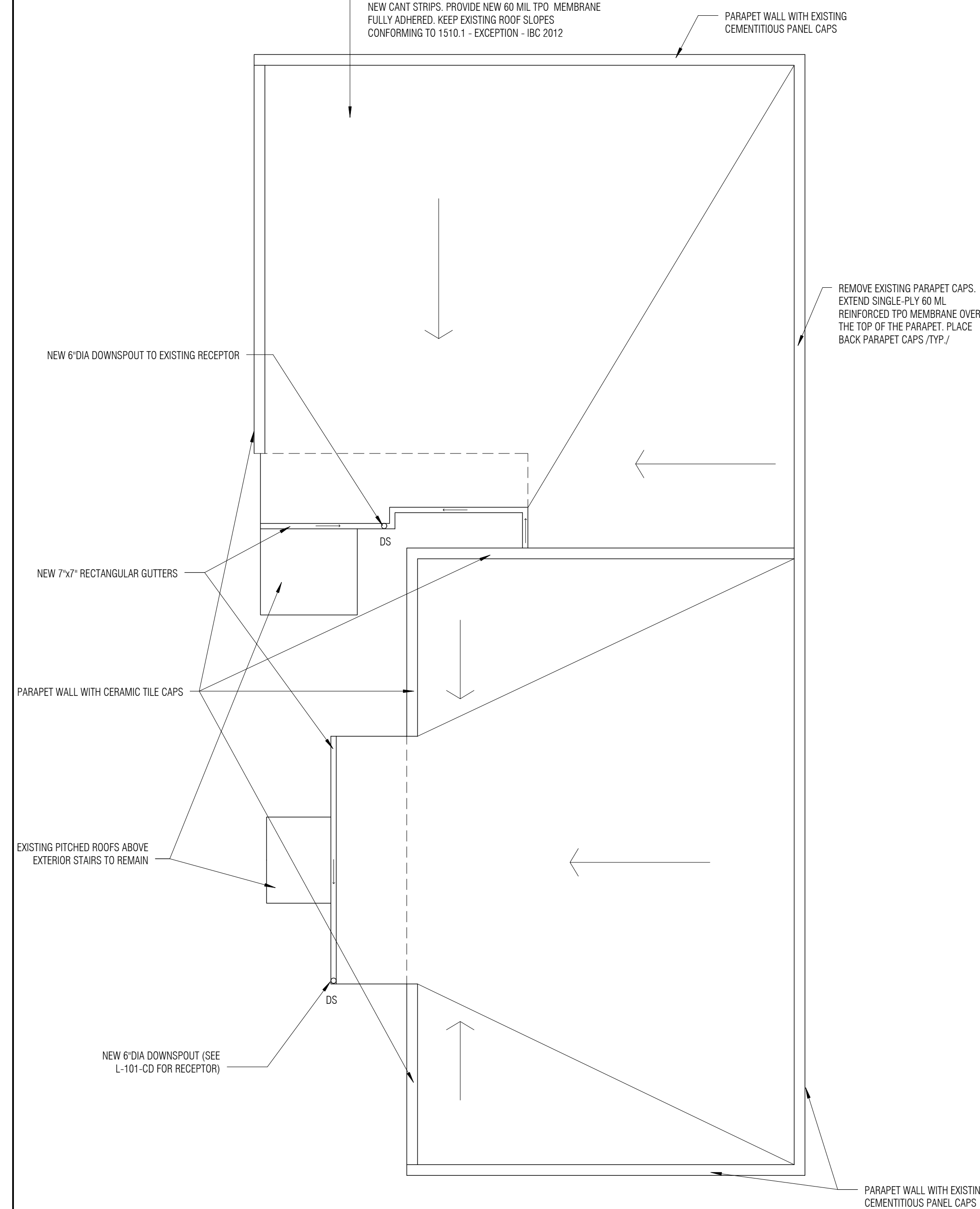


2 SIDEWALK DETAILS
1" = 1'-0"



1 REAR YARD IMPROVEMENTS
1/8" = 1'-0"

PARTIALLY REMOVE EXISTING ROOFING MATERIAL WHERE BUBBLES EXIST (FIELD VERIFY THAT THERE IS ONLY ONE ROOFING LAYER. IF MORE THAN ONE EXIST, REMOVE ALL). PATCH AND REPAIR UNDERLYING SURFACES. PROVIDE NEW CANT STRIPS. PROVIDE NEW 60 MIL TPO MEMBRANE FULLY ADHERED. KEEP EXISTING ROOF SLOPES CONFORMING TO 1510.1 - EXCEPTION - IBC 2012

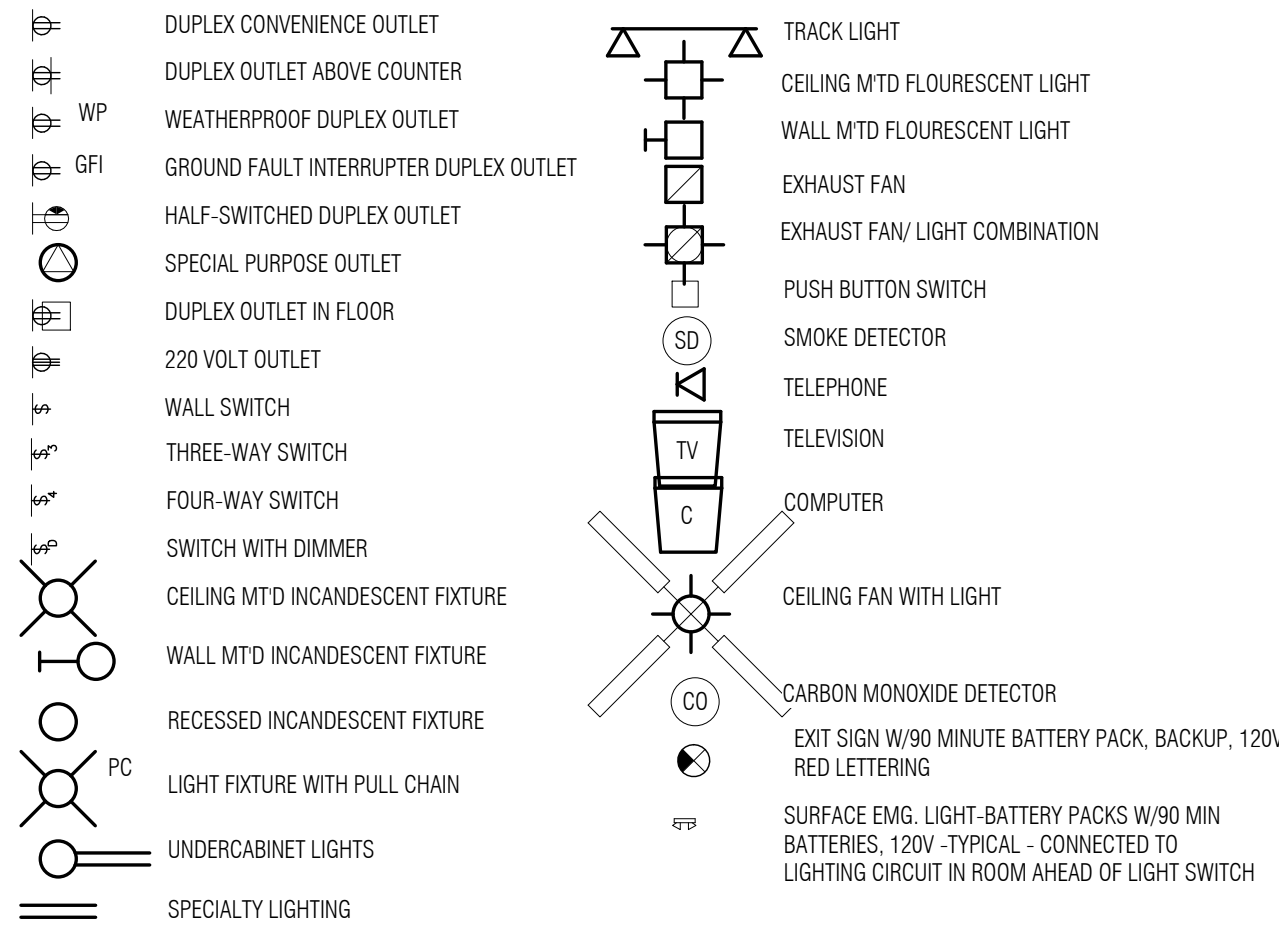


4 ROOF PLAN
1/8" = 1'-0"

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ELECTRICAL KEY



HVAC NOTES:

- BATHROOMS ARE VENTED TO THE EXTERIOR WITH NEW FANS (BROAN ZB-80-M OR SIMILAR - ENERGY STAR W/ HUMIDITY AND MOTION SENSOR), CONTRACTOR V.I.F. CONDITION AND SIZE OF DUCTS AND REPLACE IF NEEDED. (NOTE: FANS MAY BE INSTALLED AT THE SAME SOFFIT LOCATIONS, BUT AS CEILING FANS)
- KITCHEN EXHAUST HOODS SHALL BE VENTED IN METAL DUCT INSIDE NEW SOFFITS TO THE ADJACENT EXTERIOR WALL. PROVIDE INSECT SCREENS PER MFR SPECS

A. RESIDENTIAL GRADE DUPLEX RECEPTACLES SHALL BE 15 AMPER, 125 VOLT 3 WIRE GROUNDING STANDARD TYPE (WHITE).

B. PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS ON EXTERIOR ELECTRICAL OUTLETS, OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGE, IN POWDER ROOMS, IN BATHROOMS, AND ADJACENT TO WHIRLPOOL TUBS.

C. WALL SWITCHES SHALL BE LEVITON "DECORA" TYPE (WHITE).

D. APPLIANCE CIRCUITS SHALL BE SEPARATE 20 AMP WITH #12 AWG COPPER CONDUCTORS (U.N.D.).

E. INSTALL RECEPTACLES HORIZONTALLY AT 1'-0" TO CENTER LINE ABOVE FINISH FLOOR (U.N.D.).

F. INSTALL LIGHT SWITCHES AT 4'-0" TO CENTER LINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.

G. ALL SWITCHED OUTLETS SHALL BE ONE-HALF HOT.

H. PROVIDE GFI OUTLETS WHERE SHOWN ON PLANS OR REQUIRED BY CODE.

I. INSTALL RECEPTACLES AT 8" ABOVE COUNTERTOPS.

RACEWAYS

A. ALL CONDUITS EXPOSED TO THE ELEMENTS, DAMP LOCATIONS, HAZARDOUS AREAS, DIRECT BURIED IN EARTH, SLAB ON GRADE OR FOR SERVICE ENTRANCE RACEWAYS SHALL BE RIGID METAL.

B. FOR ALL OTHER INTERIOR INSTALLATIONS THIN WALL (EMT) CONDUIT SHALL BE PERMITTED.

SMOKE DETECTORS

A. SMOKE DETECTORS SHALL BE 110 VOLT, INTERCONNECTED IN THE DWELLING UNIT, WITH BATTERY BACK-UP. ONE PER SLEEPING ROOM AS WELL AS ONE IN ANY SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.

B. SMOKE DETECTOR SHALL BE INSTALLED ON THE CEILING AND AT LEAST 6 INCHES FROM ANY WALL OR ON A WALL LOCATED BETWEEN 4 AND 6 INCHES FROM THE CEILING.

DISCONNECT SWITCHES

A. PROVIDE A DISCONNECT SWITCH FOR EACH PIECE OF HVAC EQUIPMENT.

B. PROVIDE AN ACCESSIBLE DISCONNECT SWITCH WITH TYPE "S" FUSE AND A SEPARATE CIRCUIT FOR DISHWASHER, GARBAGE DISPOSAL, ICE MAKER & REFRIGERATOR.

LIGHTING

A. WORK INCLUDES FURNISHING AND INSTALLING LIGHT FIXTURES AND ELECTRICAL MATERIAL COMPLETE WITH LAMPS, LENSES, END CAPS, MOUNTING HARDWARE, ETC. TO PROVIDE A COMPLETE AND WORKING SYSTEM.

B. PROVIDE ILLUMINATION FOR ALL WORKING SPACES ADJACENT TO SERVICEABLE EQUIPMENT, ATTICS AND CRAWL SPACES.

LIGHT FIXTURES

A. CAREFULLY EXAMINE EACH INDIVIDUAL AREA OR ROOM WHERE FIXTURES ARE TO BE INSTALLED FOR INTERFERENCE WITH PIPING, BEAMS, DUCTS, CEILING SUSPENSION, AND COORDINATE WITH OTHER CONTRACTORS FOR PROPER CLEARANCE FOR FIXTURE INSTALLATION. THE FIXTURES IN EACH ROOM OR AREA MUST BE HUNG THE SAME DISTANCE FROM THE FLOOR, UNLESS OTHERWISE NOTED ON THE DRAWINGS AND SHALL NOT BE HIDDEN OR OBSTRUCTED, WHOLLY OR IN PART, BY ANY PIPING OR DUCTS RUNNING DIRECTLY UNDER SAME.

B. FIXTURES ARE NOT TO BE COVERED BY INSULATION. INSULATION SHALL BE KEPT TO A MINIMUM OF THREE INCHES AWAY FROM THE FIXTURES.

C. RECESSED LIGHT FIXTURES SHALL BE AS INDICATED ON PLANS

D. ALL SURFACE MOUNTED LIGHT FIXTURES TO BE FURNISHED BY THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

1) ELECTRICAL CONTRACTOR SHALL SUPPLY ALL PANELS, BREAKERS, FUSES, DISCONNECTS AND TRANSFORMERS, ETC., AS REQUIRED.

2) ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH ALL THE NATIONAL, STATE AND LOCAL CODES, ORDINANCES, AND HEALTH REGULATIONS AND WITH THE NATIONAL ELECTRICAL CODE. ANY MODIFICATIONS AND/OR ADDITIONS TO THESE PLANS REQUIRED FOR PROPER COMPLIANCE TO ANY APPLICABLE CODES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN HIS ORIGINAL QUOTATION.

3) ELECTRICAL CONTRACTOR SHALL DETERMINE EXISTING CONDITIONS AS REQUIRED WITH APPROVAL OF ARCHITECT, AND SHALL INCLUDE SUCH WORK IN ORIGINAL QUOTATION. FAILURE TO ADEQUATELY DETERMINE EXISTING CONDITIONS WILL NOT BE CONSIDERED A BASIS FOR ADDED COMPENSATION.

4) HOOK-UPS (INCLUDING EQUIPMENT PROVIDED BY OTHERS) ARE TO BE COMPLETED BY ELECTRICAL CONTRACTOR.

5) ELECTRICAL CONTRACTOR SHALL COORDINATE UTILITY RUNS WITH OTHER TRADES AND THE ARCHITECT.

6) ALL DUPLEX OUTLETS TO BE OF GROUNDED TYPE. OUTLETS SHALL BE FULLY RECESSED IN NEW WALLS AND SURFACE MOUNTED ON ALL EXISTING CONCRETE WALLS, LOCATED 12" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL FIXTURES TO HAVE U.L. APPROVAL.

GENERAL ELECTRICAL NOTES:

1. ALL EQUIPMENT FURNISHED SHALL BE N.E.M.A. STANDARD, NEW, AND UL LISTED.

2. UNLESS OTHERWISE SPECIFIED, PROVIDE CONDUIT, WIRING AND DISCONNECTS FOR ALL ELECTRICALLY OPERATED MECHANICAL EQUIPMENT, INCLUDING FINAL CONNECTIONS TO SAME AS SHOWN ON THE ELECTRICAL AND MECHANICAL AND AS HERINAFTER SPECIFIED, LEAVING SAME READY FOR OPERATION.

3. PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR POWER AND LIGHTING SYSTEMS AS REQUIRED BY THE VARIOUS TRADES DURING THE CONSTRUCTION OF THE PROJECT.

4. CONTRACTOR SHALL PROVIDE AND INSTALL ALL LABOR AND MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL WIRING, RELATED FIXTURES, ELECTRICAL HEAT ELEMENTS, AND CONTROLS. ALL WORK SHALL COMPLY WITH NATIONAL ELECTRIC CODE, STATE, AND LOCAL ORDINANCES. SUBCONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES. TERMINAL HOOKUP IS REQUIRED OF ALL FIXTURES AND APPLIANCES, MOTORS, FANS, AND CONTROLS.

5. ELECTRICAL SYSTEM LAYOUTS ARE GENERALLY DIAGRAMMATIC, LOCATION OF OUTLETS AND EQUIPMENT IS APPROXIMATE. EXACT ROUTING OF WIRING, LOCATIONS OF OUTLETS AND EQUIPMENT IS APPROXIMATE, UNLESS NOTED OTHERWISE IN THE CONSTRUCTION DOCUMENTS. EXACT ROUTING OF WIRING, LOCATIONS OF OUTLETS SHALL BE GOVERNED BY CODE, STRUCTURAL CONDITIONS, AND OTHER OBSTRUCTIONS. WIRING FOR EQUIPMENT REQUIRING MAINTENANCE AND INSPECTION SHALL BE READILY ACCESSIBLE.

6. ANY WIRING LOCATED WITHIN PLANTING AREAS SHALL BE PLACED AT A MINIMUM OF 18" BELOW GRADE.

7. ALL ELECTRICAL EQUIPMENT, BREAKERS, AND TIME CLOCK CONTROLS SHALL BE PROPERLY LABELED.

8. MATERIALS AND EQUIPMENT SHALL BE NEW AND LISTED BY UNDERWRITERS LABORATORIES, INC. AND BEAR THEIR LABEL WHEREVER STANDARDS HAVE BEEN ESTABLISHED AND THEIR LABEL SERVICE IS REGULARLY FURNISHED.

9. VERIFY AND LOCATE ALL RECEPTACLES PRIOR TO INSTALLATION OF DRYWALL.

10. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHER-PROOF.

11. PRIOR TO CALLING FOR ROUGH INSPECTION, THE GENERAL CONTRACTOR SHALL SUBMIT AN UPDATED "CIRCUIT LAYOUT" SHOWING ANY AND ALL CHANGES TO THE APPROVED SET OF DRAWINGS.

12. IN DWELLING OCCUPANCIES DISHWASHERS AND DISPOSALS SHALL HAVE A SEPARATE DISCONNECTING MEANS UNDER THE SINK CABINET EACH WIRED TO A SEPARATE 20amp CIRCUIT.

13. SWITCHES AND RECEPTACLES (INCL. GFI) IN THE BATHROOMS SHALL BE LOCATED A MINIMUM OF 3'-0" FROM THE INSIDE EDGE OF A TUB OR SHOWER MEASURED HORIZONTALLY AT THE FLOOR LINE, LIGHT FIXTURE ABOVE, OR WITHIN TWO FEET OF THE INSIDE OF THE TUB EDGE, MUST HAVE GFCI PROTECTION.

14. CONCRETE ENCASED ELECTRODE PER NEC ADJACENT TO SERVICE DISCONNECT LOCATION. REQUIRED INSPECTION PRIOR TO POURING FOOTING.

15. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE SUBMITTED BEFORE ROUGH-IN INSPECTIONS.

OTHER ELECTRICAL NOTES:

1) EACH BATHROOM REQUIRES A MINIMUM OF (1) 20-AMP RECEPTACLE CIRCUIT WITH NO OTHER OUTLETS CONNECTED.

2) ALL EXHAUST FANS WILL BE SWITCHED INDEPENDENTLY OF THE LIGHT SWITCH.

3) ALL CIRCUITS WIRED WITH #12 GAGE WIRE SHALL HAVE NO MORE THAN TWELVE (12) OUTLETS OR RECEPTACLES FOR GENERAL LIGHTING CONNECTED THERETO.

4) ALL CIRCUITS WIRED WITH #14 GAGE WIRE SHALL HAVE NO MORE THAN TWELVE (12) OUTLETS OR RECEPTACLES FOR GENERAL LIGHTING CONNECTED THERETO.

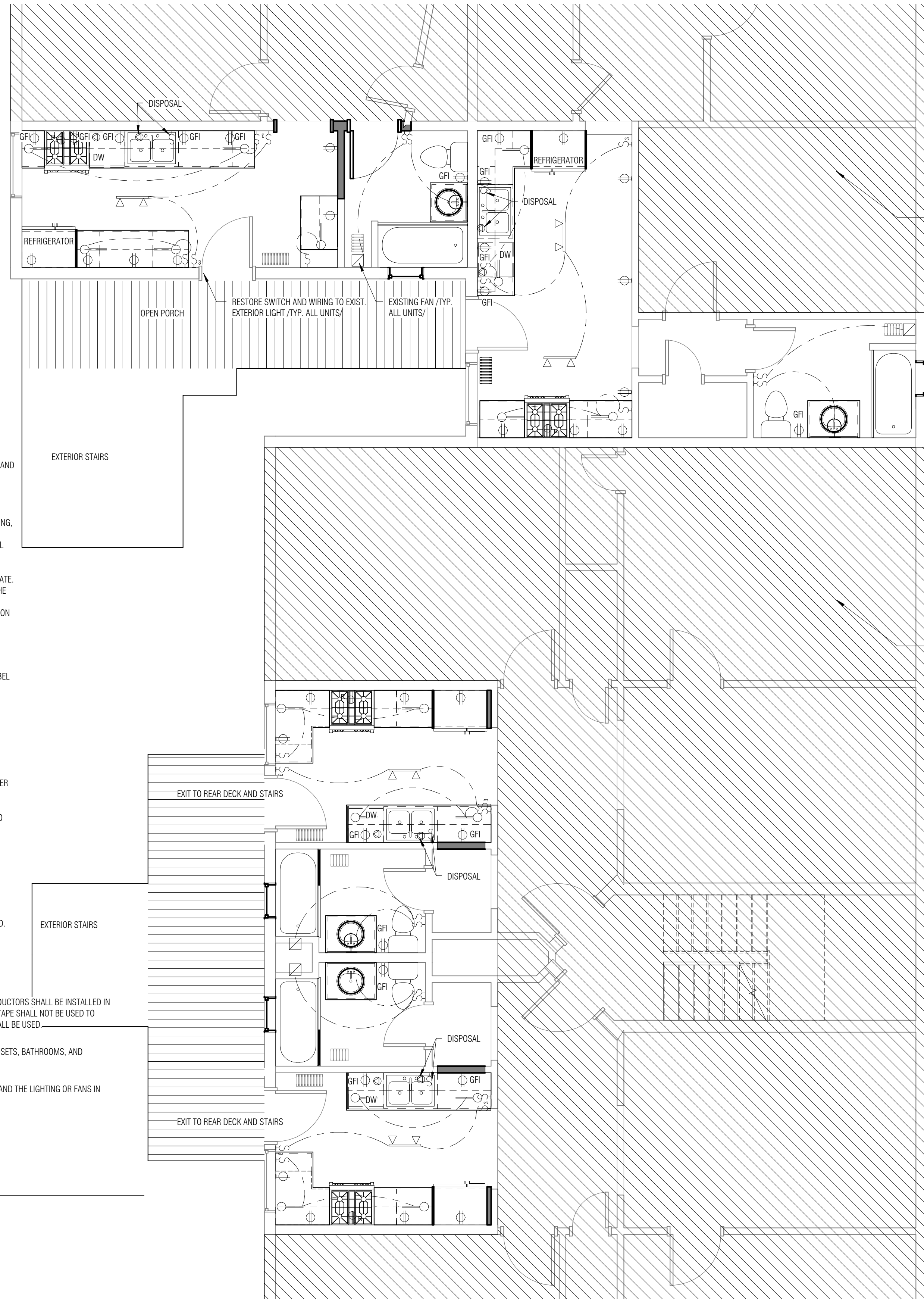
5) SEPARATE EQUIPMENT - GROUNDING CONDUCTOR SHALL BE INSTALL FOR ALL CENTRAL AIR CONDITION UNITS. CONDUCTORS SHALL BE INSTALLED IN LIQUID-TIGHT FLEXIBLE METAL CONDUIT TO AVOID VIBRATIONS FROM THE BUILDING TO THE UNIT. ELECTRICAL PLASTIC TAPE SHALL NOT BE USED TO FASTEN LOW VOLTAGE WIRING TO THE CONDUIT OR REFRIGERANT LINES. PLASTIC TIES APPROVED FOR THE PURPOSE SHALL BE USED.

6) ALL FLEXIBLE WHIPS TO HAVE AN EQUIPMENT - GROUNDING CONDUCTOR INSTALLED, NO MATTER WHAT LENGTH.

7) ALL CEILING BOXES SHALL BE LISTED FOR CEILING FAN SUPPORT WITH THE EXCEPTION OF THOSE IN HALLWAYS, CLOSETS, BATHROOMS, AND STORAGE ROOMS.

8) ALL CLOSET LIGHTING WILL COMPLY WITH THE REQUIREMENTS OF NEC 410.8

9) ALL BEDROOM ELECTRICAL LOAD OPENINGS, INCLUDING CEILING LIGHTS, FANS, CLOSET LIGHT, SMOKE DETECTORS AND THE LIGHTING OR FANS IN CONNECTED BATHROOMS SHALL BE AFC - FAULT PROTECTED.



N.I.C. EXCEPT FOR SMOKE AND CARBON MONOXIDE DETECTORS. SEE M-102-CD

N.I.C. EXCEPT FOR SMOKE AND CARBON MONOXIDE DETECTORS. SEE M-102-CD

1 TYPICAL FLOOR ELECTRICAL PLANS
1/4" = 1'-0"

3 ELECTRICAL NOTES

1/8" = 1'-0"

ARCHITECT OF RECORD:

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HOUSE OF PEACE COOP
KITCHENS AND BATHROOMS
RENOVATION

700-702 MONROE AND 700-702 CUSTER,
EVANSTON, IL 60202

No.	Description	Date
1	ISSUED FOR PERMIT	08/20/14

Drawn By: KM
Checked By: VM
Scale: As indicated
Project No.: 11-107

MEP PLANS

Sheet No. M-101-CD

ARCHITECT OF RECORD:

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HOUSE OF PEACE COOP
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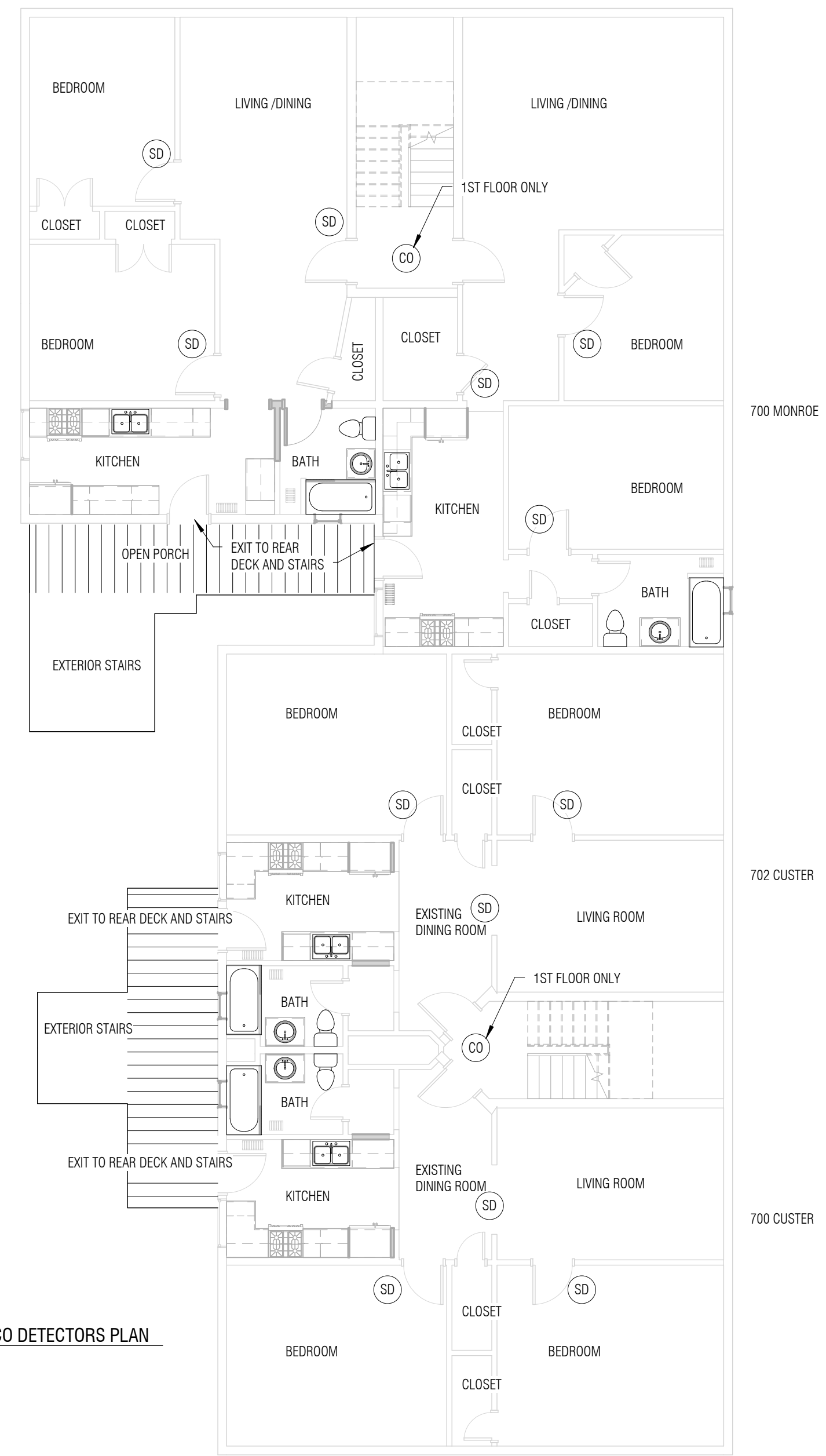
700-702 MONROE AND 700-702 CUSTER,
EVANSTON, IL 60202

No.	Description	Date
1	ISSUED FOR PERMIT	08/20/14

Drawn By: KM
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FIRE PROTECTION,
PLUMBING

Sheet No. M-102-CD



2 SMOKE AND CO DETECTORS PLAN
1/8" = 1'-0"

PLUMBING FIXTURES COUNT AND
WATER SERVICE SIZE CALCULATIONS:

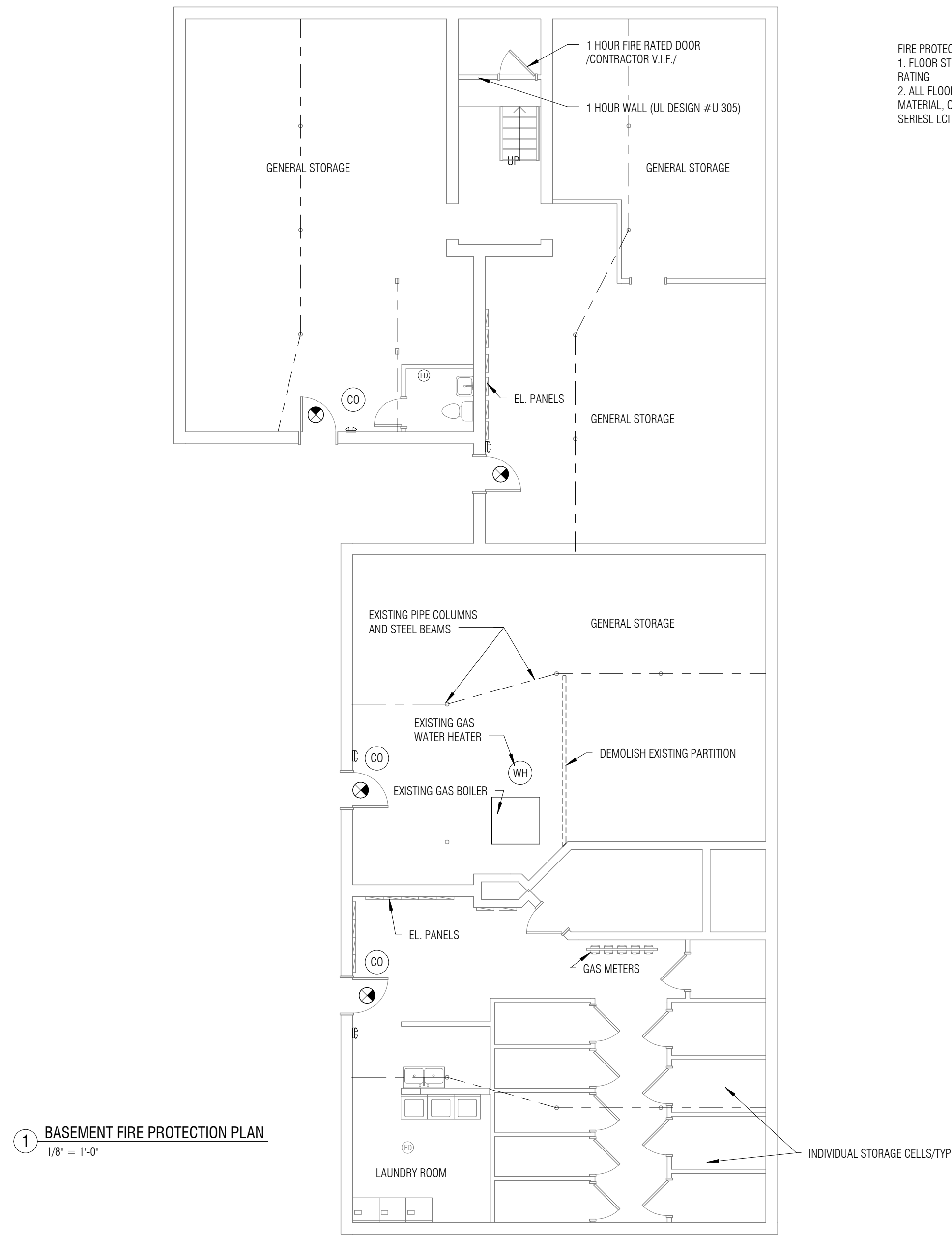
- 1. PRIVATE WC (FLUSH TANK) - 13 x 3 = 39 W.S.F.U.
- 2. KITCHEN SINK - 12 x 2 = 24 W.S.F.U.
- 3. PRIVATE LAVATORIES - 13 x 1 = 13 W.S.F.U.
- 4. DISHWASHER - 12 x 1 = 12 W.S.F.U.
- 5. TUB WITH SHOWER - 12 x 2 = 24 W.S.F.U.
- 6. LAUNDRY MACHINE - 3 x 2 = 6 W.S.F.U.

TOTAL = 118 W.S.F.U.

(CALCULATIONS BASED ON ILLINOIS PLUMBING CODE (CURRENT EDITION), APPENDIX A, TABLES M AND N.
UNITS. LOAD VALUES ASSIGNED TO FIXTURES AND W.S.F.U. - WATER SUPPLY FIXTURE
UNITS)

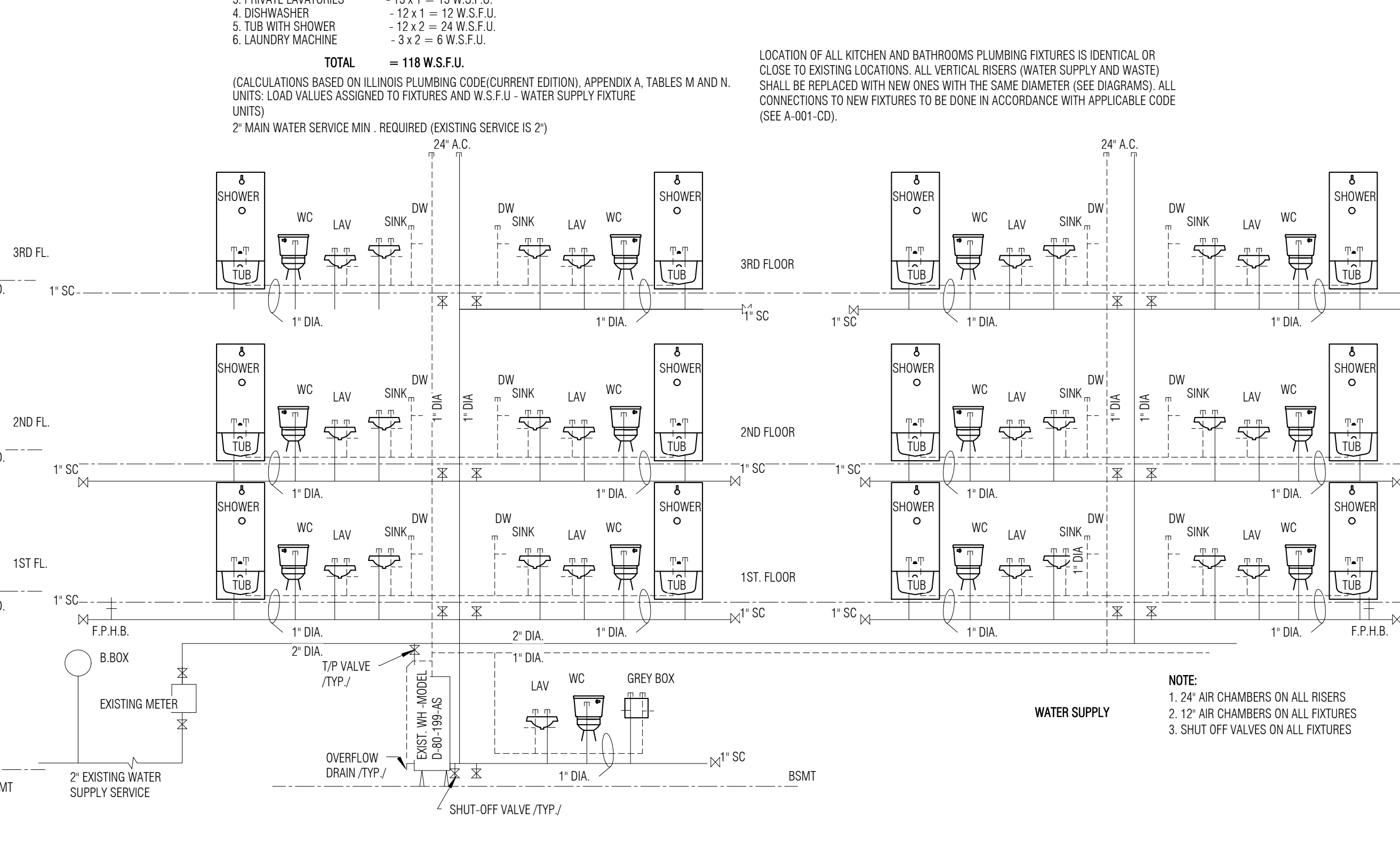
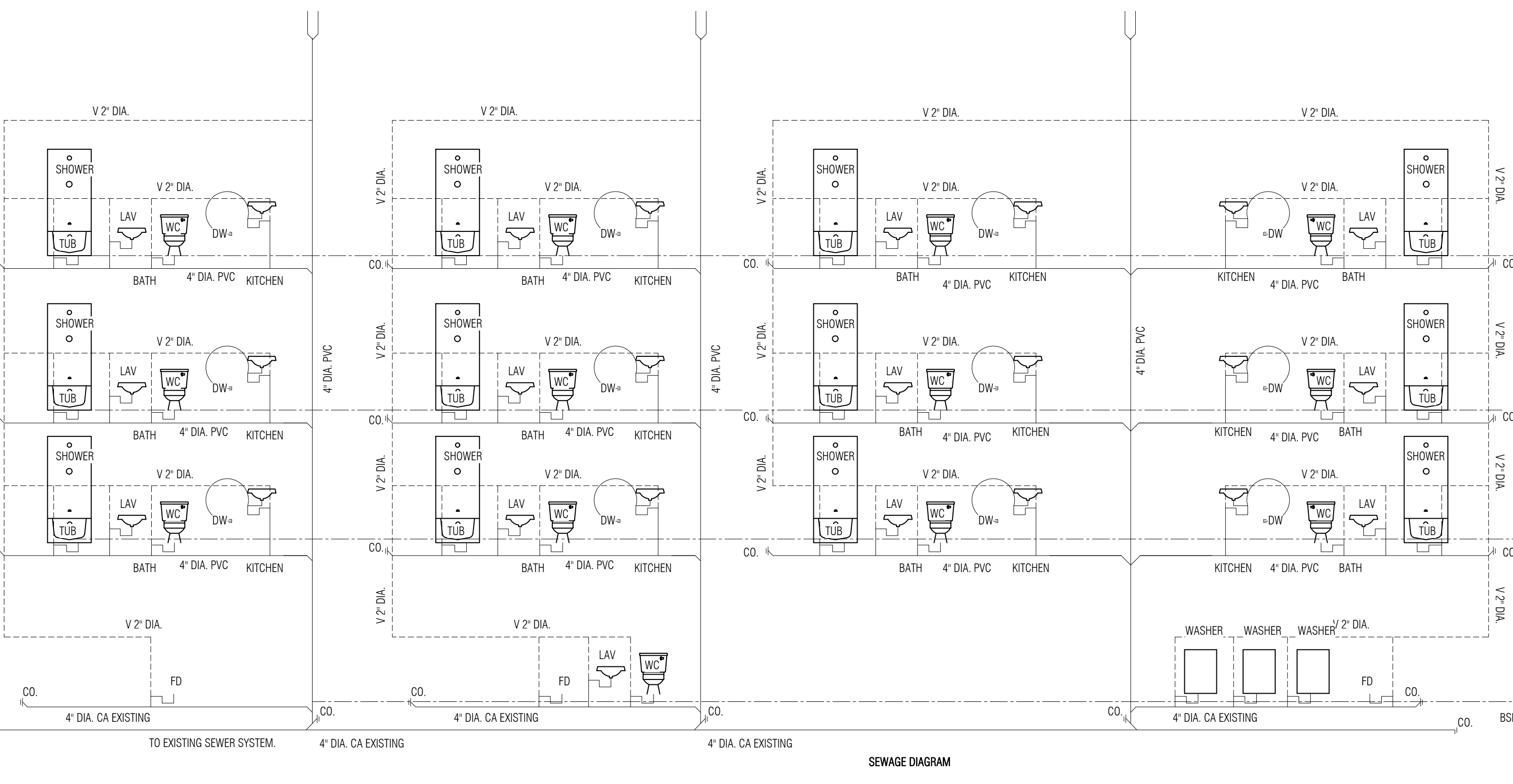
2" MAIN WATER SERVICE MIN. REQUIRED (EXISTING SERVICE IS 2")

LOCATION OF ALL KITCHEN AND BATHROOMS PLUMBING FIXTURES IS IDENTICAL OR
CLOSE TO EXISTING LOCATIONS. ALL VERTICAL RISERS (WATER SUPPLY AND WASTE)
SHALL BE REPLACED WITH NEW ONES WITH THE SAME DIAMETER (SEE DIAGRAMS). ALL
CONNECTIONS TO NEW FIXTURES TO BE DONE IN ACCORDANCE WITH APPLICABLE CODE
(SEE A-001-CD).



1 BASEMENT FIRE PROTECTION PLAN
1/8" = 1'-0"

- FIRE PROTECTION NOTES:
- 1. FLOOR STRUCTURE BETWEEN BASEMENT AND 1ST FLOOR SHALL COMPLY TO UL DESIGN #L 505 - 2HR RATING
 - 2. ALL FLOOR PENETRATIONS BETWEEN BASEMENT AND 1ST FLOOR TO BE PROTECTED WITH FIRESTOPPING MATERIAL, COMPLYING WITH APPLICABLE UL SYSTEM ## F-C-1074, F-C-5043 AND SIMILAR (SPECSEAL SERIES LC INTUMESCENT SEALANT OR SIMILAR)



NOTE:
1. 24" AIR CHAMBERS ON ALL RISERS
2. 12" AIR CHAMBERS ON ALL FIXTURES
3. SHUT OFF VALVES ON ALL FIXTURES

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